

BADIN SHORES RESORT OWNERS ASSOCIATION, INC.

Building Guidelines, Rules, Regulations

and RV Setup

Supersedes all previous regulations and rules

12/9/17

This document includes general rules and building regulations for all categories of recreational vehicles allowed in Badin Shores Resort. Attachments include illustrations for setups, building plan example, roof construction, and sample copies of both BSROA Building Permits.

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**BUILDING GUIDELINES, RULES, REGULATIONS AND RV SETUP
FOR BADIN SHORES RESORT OWNERS ASSOCIATION INC. (BSROA)
SUPERCEDES ALL PREVIOUS REGULATIONS**

January 8, 2014

It is the specific intent of these Guidelines, Rules and Regulations to maintain a luxury resort reserved and restricted for recreational vehicles. Vehicles, included in this category are modern travel trailers, motor homes, fifth wheels, ANSI park models and modular RV models. Not included with such classification shall be any trailer less than 24 ft. (Excluding tongue), any collapsible, pop-up, fold out or soft walled trailers, or any pick-up campers. All recreational vehicles must have bath facilities, a lavatory and a toilet. It is the declared intent of Badin Shores Resort Owners Association Inc. to exclude mobile homes from being placed on any lots as written in the Declaration and Covenants for Badin Shores Resort. Each lot is allowed one RV unit and one utility building. Each RV unit is allowed one additional heated structure, one outdoor structure, one entry porch, and one walkway, as described and limited in this document, provided they comply with the following Rules and Regulations. Exception: additional space can be gained placing a module on a basement.

All rules and regulations in this document are in compliance with Montgomery County RV Resort Ordinance.

Categories of Recreational Vehicles Used for These Guidelines:

- Category I Travel Trailers, Motor Homes and Fifth wheels
- Category II ANSI Park Models
- Category III Modular RV Models

Definition of Terms Used in this Document:

Unit: A travel trailer, motor home, fifth wheel, ANSI park model, or half of a modular RV model.

Addition: A structure that can be defined as a room addition, porch, screened room, or deck.

Room Addition: A structure that provides heated living space.

Sunroom: A room addition consisting of at least 60% glass.

Porch: A covered or uncovered outdoor structure that provides ingress and egress to another space.

Screen Room: A covered room that is totally screened.

Deck: A raised outdoor, covered or uncovered, structure.

Walkway: 4 ft. wide uncovered access deck.

Utility Building: Storage structure.

Modular: An assembly of two units, one unit considered the room addition.

Gazebo: A roofed structure that offers an open view of the surrounding area, typically used for relaxation or entertainment.

General Rules That Apply to ALL Categories of Recreational Vehicles

- (A) **Setbacks:** Every RV or accessory structure must meet minimum setbacks of 10 feet from any road right-of-way, 5 feet from back property line and 5 feet from any side property line. Corner lots must have 10 feet from both road fronts. Setback measurements shall be taken from the eaves, overhangs, or any other protrusions from the structure. The only items allowed in setback areas are fences, AC/heat units and propane tanks.
- (B) **Materials:** All structures constructed on any lot shall be built of new materials unless the Park Manager approves the use of old materials. No creosote timbers or poles may be used. All decking must be constructed of approved exterior decking materials as specified by the State of North Carolina. Roofs must be shingle, metal or approved material.
- (C) **Utility buildings:** Each lot is allowed one utility building. A BSROA building permit is required to bring in or build on site any utility building. Metal utility buildings are not allowed in park. Utility buildings cannot be set or built so that the floor is more than 1 ft. above highest grade under building. Utility buildings cannot be set or built on a foundation. Maximum square footage is 120 square feet and the roof cannot be higher than 11 ft., measured from the floor. Utility buildings may have a maximum 8 inch eave on sides and rear and a maximum 2 ft. eave above door. Utility buildings must have a clear separation from any other structure, cannot be placed on decks, and cannot contain washers and dryers. Utility buildings placed on blocks must be tied down and underpinned within 90 days.
- (D) **Storage lockers:** Each lot is allowed one storage locker not to exceed a 76-inch height, 56-inch width, and 30-inch depth. Storage lockers are allowed on decks.
- (E) **Fences:** Height of fence cannot exceed 4 ft. It is permissible to install a decorative unnoticeable wire fence behind a split rail type or an open vertical fence. No chain link or solid stockade type of fences are allowed. All fences must be 5 ft. off road and 6 inches off side and back property lines. Board fencing must have minimum of ½ inch space between boards.
- (F) **Parking space:** A parking space for one automobile of not less than 8 ft. by 20 ft., plus the necessary access, located outside the dedicated right-of-way, is required on each lot.
- (G) **Vehicle storage:** There can be no storage of gasoline/diesel engine vehicles (cars, boats, golf carts, etc.) under living area of any unit unless the storage area is fire proofed according to NC State Building Code.
- (H) **Carports:** Not allowed, either free-standing or attached.
- (I) **Parking Decks/Walls:** Parking decks cannot be higher than the road. At RV sites where parking walls are built, guardrails must be installed when height exceeds 30 inches. A BSROA permit is required prior to beginning work.
- (J) **Foundations:** All room additions must be built on a masonry foundation. Foundations are allowed under screen rooms and decks or combination screen room/deck, only when they are located beside and parallel to the primary unit. Area within that foundation can only be used as a storage space and cannot be used as a living or sleeping space.
- (K) **Basements:** Basements are not allowed for ANSI park models and campers.
- (L) **Guard rails:** Raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height (NC State Building Code). A guard rail (Max. 4 ft. high, Montgomery County RV Ordinance) built to NC State Building Code is allowed from floor of screen rooms.
- (M) **Underpinning:** All decks, screen rooms and porches may be underpinned with only solid vinyl or wood or vinyl lattice.

- (N) **Driveways:** May be constructed inside of property lines without a permit. If constructed of concrete, see requirements in these general rules, item (Q).
- (O) **Sidewalks:** May be constructed inside of property lines without a permit. If constructed of concrete, see requirements in these general rules, item (Q).
- (P) **Patios:** May be constructed, directly on the ground, inside of setbacks, without a permit. If constructed of concrete, see requirements in these general rules, item (Q).
- (Q) **Pouring concrete:** Before pouring concrete you must check with the Park Manager so they can have maintenance staff spot water and sewer lines. A release form will need to be signed by the homeowner if concrete is to be poured stating that BSR is not responsible for homeowners' repair to concrete if repairs are needed for water leaks, sewer repairs, etc.
- (R) **Dog pens:** No dog pens are allowed.
- (S) **Awnings:** Awnings are allowed over doors and windows only. They can extend 30 inches out over windows to a width of the window and 6 ft. x 6 ft. over entrance doors and must meet all setback requirements.
- (T) **Retractable Awnings:** Retractable awnings are allowed but cannot be used for any vehicle or boat parking.
- (U) **Canopies:** Fabric Canopies are allowed with the following restrictions:
1. Cannot exceed a size of 12' x 12'
 2. Walls can only be see-through fabric mesh.
 3. Cannot be permanently attached to ground or decks.
 4. Cannot be attached to any structure.
 5. Cannot be used to cover any vehicle or boat.
 6. Cannot be used as a sleeping area.
 7. Must meet all setbacks.
- (V) **Gazebos:** Gazebos must be engineered manufactured with a maximum of 144 sq. ft. Drawings have to be submitted to the Park Manager of BOD member issuing permits for written permission.

Building Regulations That Apply to ALL Categories of Recreational Vehicles

- (A) **Badin Shores Building Permit:** Building permits can be obtained from the BSROA office. Before a completed BSROA Building Permit can be approved, the following must be submitted and complied with: a survey no older than five years, building plans, and full payment of all dues and assessments.
- (B) **Building plans:** Building plans and specifications for any structural improvements to be erected on the lot must include (See Sample Building Plan Example on page 17):
1. Dimensions of lot and location of setback lines.
 2. Description, location and dimensions of proposed improvement(s) and distance from setbacks.
 3. Location and dimensions of primary unit and its distance from setbacks.
 4. Location and dimensions of all accessory structures and distances from setbacks.
 5. Construction materials to be used for proposed improvement(s).
 6. If applicable, indicate roof height of utility building. *“Not more than 11 ft. from floor of building”* is an acceptable answer.
 7. If applicable, indicate roof height of addition. For ANSI park models, *“Not more than 14 ft. 8 inches from the ground”* is an acceptable answer. For trailers, motor homes, and fifth wheels, *“Will not exceed height of camper roof by more than two feet”* is an acceptable answer.
 8. For a modular installation, a set of manufacturer’s engineered plans must accompany construction plans.
 9. If a modular is being set on a basement, a full set of plans with a seal from a certified engineer or architect must accompany construction plans.
- (C) **Plan approvals:** Badin Shores Resort shall approve or disapprove any plans for any improvement within 15 days from receipt of plans.
- (D) **Montgomery County Building Permit:** A building permit from Montgomery County must be obtained and be placed on the lot in a visible location prior to starting any construction if permit is required.
- (E) **Variances:** Under special needs or conditions a variance to these building regulations may be given by BSROA. This request must be in writing and may involve submitting a doctor’s request for special consideration. If this request is also in conflict with local or state codes, it cannot be granted. Before going to Montgomery County you must first submit your request to BSROA.
- (F) **Waterfront lots:** Yadkin Inc. controls waterfront property below the 545 ft. elevation. Building on a waterfront lot requires that the 545 ft. elevation be determined before any construction takes place.
- (G) **Tree removal:** Live trees larger than 6 inches cannot be removed from any lot without permission of the BOD or its assigns. The BOD shall grant permission as to allow owners reasonable use of their lot.
- (H) **Call before you dig:** 811 is the newest FCC-designated number to call before any digging project. 811 will connect callers to their local One Call Center, which will notify area utilities to mark the approximate location of underground lines. The toll-free number that can also be used is 1-800-632-4949. Lot owner is responsible for any damage as a result of unauthorized digging.
- (I) **Bringing in RV unit:** Before bringing any unit into the park, the Park Manager must be notified 5 to 7 days in advance to make an appointment for an inspection. Before obtaining power, all units must be inspected by Montgomery County.
- (J) **Alteration of RV labeling:** Alteration of an RV unit violates the RV labeling from the factory. If a unit is altered, other than by an RV manufacturer, it must be removed from the property.

- (K) **Changing RV units:** If you are changing RV units, you must apply for new permits.
- (L) **Construction time limit:** You have six months to complete your project. If you have extenuating circumstances, contact the Park Manager for a possible extension on your BSROA Building Permit. Only one extension could possibly be given, if granted.
- (M) **Occupancy:** No structure can be occupied unless primary RV is on the lot and a final inspection has been performed by BSROA and Montgomery County Inspection Department.
- (N) **Contractor access:** Guardhouse must be notified of all contractors and laborers requiring entry into the park. Failure to do so will mean they will be denied access.
- (O) **Compliance:** If you choose not to comply with building rules, you will be asked to remove or bring into compliance any violation. You may be fined for being out of compliance and have your utilities shut off.
- (P) **Contractor rules:**
 - 1. Vehicles cannot block roads and must be parked on one side of the road only.
 - 2. Permission must be obtained to park on neighbor's lots. Permission slip must be filed in the park office before beginning work.
 - 3. Any mud or rocks on roadway because of construction must be swept off road daily.
- (Q) **Lot owners responsibility and fines:**
 - 1. A \$500 deposit is required if you have to cross another owner's property during construction. Lot owner will be responsible for any damage caused by their contractor. Repairs of any damage must be completed within 90 days.
 - 2. If you continue to build after a stop work order has been issued, you will be fined up to \$100 a day.
 - 3. If you start any work that requires a permit before obtaining a permit, you will be fined up to \$100.
 - 4. If you or your contractor do not clean up on last day of each work week, you will be fined up to \$100
 - 5. Any fines stated in #1-#4 above will be applied and accrued in compliance with the portions of NC General Statute 47F That Badin Shores Resort has to comply with.
- (R) **Attorney Fees:** Lot owner is responsible for any attorney fees incurred during any litigations.

CATEGORY I: TRAVEL TRAILERS, MOTOR HOMES AND FIFTH WHEELS

Definition of a recreational vehicle: A vehicular type unit primarily designed as living quarters for recreational camping, or travel use, and manufactured by a certified RV manufacturer. The minimum size allowed in Badin Shores Resort is 24 ft. feet in length, excluding tongue.

**PLEASE BE FAMILIAR WITH GENERAL RULES (PAGES 4-5)
AND BUILDING REGULATIONS (PAGES 6-7)
THAT APPLY TO ALL CATEGORIES OF RECREATIONAL VEHICLES.**

SET-UP OF A TRAVEL TRAILERS, FIFTH WHEELS AND MOTOR HOMES

- (A) Travel trailers, fifth wheel trailers and motor homes can be transient (On wheels) but must have a current state license tag.
- (B) When placing RV units on block piers and anchoring (**See Attachments 1 and 2, pages 14 & 15**), you must leave axles attached. Wheels and tires may be removed and stored under RV unit.
- (C) When blocking, frame cannot be more than 2 ft. above highest grade below RV unit. When more than ¼ of RV unit is more than 5 ft. above ground level, the blocking and anchoring must be designed by a registered engineer and approved by BSROA.
- (D) Water, sewer, and electrical connections on blocked RV units must meet all local and state codes.
- (E) RV unit cannot be used as an electrical source for any other structure.
- (F) Underpinning must be completed within 90 days of RV unit set-up and must be of solid vinyl or a material approved by BSROA.
- (G) No occupancy is allowed in blocked RV units until a final inspection has been performed by BSROA and Montgomery County.
- (H) RV units with room additions must notify Park Manager if they remove the RV unit. Homeowner will have 30 days to replace the RV unit and cannot use the room addition with RV unit not present. You must notify Park Manager when RV unit is returned.

ADDITIONS TO TRAVEL TRAILERS, FIFTHS WHEELS AND MOTOR HOMES

Room additions: Each RV unit is allowed one room addition. This room addition must be built on a masonry foundation parallel and beside the RV unit. To have a room addition, the RV unit must be blocked and anchored. **Highest point of roof of room addition cannot exceed the height of the RV unit by more than 2 ft. and cannot extend over the unit by more than 1 ft. (See Attachment 3, page 16).** The length of the room addition cannot exceed the length of the RV unit and cannot exceed a depth of 12 ft. The room addition cannot be attached other than by flashing and the roof cannot be supported by the RV unit. Room additions must meet NC residential building code.

Screen rooms, decks or combination screen room/deck: RV units may have either a full screen room, full deck or a combination of both. **Highest point of roof of screen room cannot exceed the height of the RV unit by more than 2 ft. and cannot extend over the unit by more than 1 ft. (See Attachment 3, page 16).** Screen rooms are not allowed knee walls and must maintain 100% screen along outside walls with no enclosure. A maximum 4 ft. -minimum 3 ft. high guardrail built to NC state building code may be required from the floor of the screen room. The screen room/deck or combination can be built parallel to the unit, or parallel to a room addition that runs the full length of the RV unit. Screen room/deck cannot exceed the length of the RV unit or the room addition and cannot exceed a depth of 12 ft. If the RV unit has a room addition that runs parallel the full length of the RV unit, a screen room/deck can be built across the back, opposite the tongue end. When built across the back, screen room/deck cannot exceed the width of the room addition/RV and may not be built on a masonry foundation.

Combination of room addition/screen room/deck: Any combination of all three may be built parallel to the RV unit, but when this option is selected you cannot build any of the three anywhere else on the lot.

Entrance porch/access: For safe ingress and egress, a 6 ft. x 6 ft. covered or uncovered porch may be built at the entrance of the RV unit, room addition, screen room or deck. Access steps and ramps must meet all applicable building code regulations and setback requirements. They are not allowed to cross the tongue end of the unit.

Walkways: A 4 ft. wide uncovered walkway is allowed to gain access from the entrance porch to a deck, screen room, or combination on a unit. Walkways must meet setback requirements, and are not allowed to cross the tongue end of the unit. There is to be no enclosure under walkways.

Summation: In no case are you allowed to add more than one room addition, one screen room, one deck, one entrance porch.

CATEGORY II: ANSI PARK MODELS

Definition of an ANSI Park Model: The park model trailer, is a transportable RV unit, with a body width not exceeding 12 feet and is built on a single chassis. It is designed to provide seasonal or temporary living quarters when connected to utilities necessary for operation of installed fixtures and appliances. The total area of the unit in a set-up mode does not exceed 400 square feet and is constructed to ANSI 119.5 standard.

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AND BUILDING REGULATIONS (PAGES 6-7)
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SET-UP OF ANSI PARK MODEL

- (A) When installing Park Model on block piers and anchoring (**See Attachments 1 & 2, pages 14 &15**), you must leave axles attached to unit. Wheels and tongue can be removed and stored under the unit.
- (B) When blocking, the frame must be no more than 2 ft. from highest grade below park model. When more than ¼ of the park model is more than 5 ft. above ground level, the blocking and anchoring must be designed by a registered engineer and approved by BSROA.
- (C) Water, sewer and electrical connections must meet all local and state codes.
- (D) Park model cannot be used as an electrical power source for any other structure.
- (E) Underpinning must be completed within 90 days of setup and must be of solid vinyl or a material approved by BSROA.
- (F) No occupancy is allowed until a final inspection has been performed by BSROA and Montgomery County.

ADDITIONS TO ANSI PARK MODELS

Room additions: Each park model is allowed one room addition. This room addition must be built on a masonry foundation parallel and beside the park model. To have a room addition, the park model must be blocked up and anchored. **The roof of the room addition cannot exceed a height of 14 ft. 8 inches to the peak of the roof, from the highest point of original grade contacting the foundation (See Attachment 3, page 16).** The length of the room addition cannot exceed the length of the park model and cannot exceed a depth of 12 ft. The room addition cannot be attached except by flashing and the roof cannot be supported by the park model. Room additions must meet NC residential building code.

Screen rooms, decks or combination screen room/deck: Park models may have either a full screen room, full deck or a combination of both. **Roof of the screen room cannot exceed a height of 14 ft. 8 inches to the peak of the roof from the highest point of original grade contacting a pier or foundation (See Attachment 3, page 16).** Screen rooms are not allowed knee walls and must maintain 100% screen along outside walls with no enclosure. A maximum of 4 ft. and minimum 3 ft. high guardrail built to NC state building code may be required from the floor of the screen room. The screen room/deck can be built parallel to the park model, or parallel to a room addition that runs the full length of the park model. The screen room/deck cannot exceed the length of the park model or the room addition and cannot exceed a depth of 12 ft. If the park model has a room addition that runs parallel the full length of the park model, a screen room/deck, can be built across the back, opposite the tongue end. When built across the back, the screen room/deck cannot exceed the width of the park model/room addition or exceed a depth of 12 ft. When built across the back, the screen room/deck cannot be built on a masonry foundation.

Combination of room addition/screen room/deck: Any combination of the three may be built parallel to the park model, but when this option is selected you cannot build any of the three anywhere else on the lot.

Entrance porch/access: For safe ingress and egress, a 6 ft. x 6 ft. covered or uncovered porch may be built at the entrance of the park model, room addition, screen room or deck. Access steps and ramps must meet setback requirements and be built to NC building code. Porches may not cross tongue end of the park model.

Walkways: A 4 ft. wide uncovered walkway is allowed to gain access from the entrance porch to a deck, screen room, or combination on a park model. Walkways must meet setback requirements, and are not allowed to cross the tongue end of the park model. There is to be no enclosure under walkways.

Summation: In no case are you allowed to add more than one room addition, one screen room, one deck, one entrance porch.

Category III: Modular RV Model

Definition of a Modular: A modular is a one-story dwelling assembly, built to NC modular building code, one half being the primary unit, and the other half being the room addition. Maximum size of a modular allowed in Badin Shores RV Resort is 24 ft. x 38 ft. A modular is not allowed any additional room additions.

Terms used to define a Modular:

Unit: Heated living space up to 12 ft. x 38 ft.

Room Addition: Heated living space up to 12 ft. x 38 ft.

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AND BUILDING REGULATIONS (PAGES 6-7)
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SETUP OF A MODULAR

- (A) Modular models must be set up in accordance with the manufacturer's engineered plans. A set of plans for each unit must be submitted to BSROA and Montgomery County Inspections Dept. before a building permit can be issued.
- (B) Maximum height of the peak of the roof shall not exceed 14 feet 8 inches from the top of the foundation. Maximum height of foundation cannot exceed 2 ft. from original grade at highest point. Modular must be classified as a one story structure, with no lofts or usable attics allowed.
- (C) Basements are allowed if lot has enough slope that one side of basement is exposed out of ground level. Maximum height of back fill wall cannot exceed 2 ft. from original grade at highest point. A full set of plans with a seal from a certified engineer or architect must be submitted to BSROA and Montgomery County Inspection Dept., along with your modular plans, if you are building on a basement. Basements must be completely covered by the modular RV and may be utilized as habitable space when built to NC State Residential Code.

ADDITIONS TO A MODULAR

Screen rooms, decks or combination screen room/deck: A modular may have either a full screen room, or a full deck or a combination of both. Either of these may be built parallel to the modular or across the front end or back end. When built parallel to the modular either of these may have a length not to exceed the length of the modular and have a maximum depth of 12 ft. When built across the front or back, the overall length may not exceed the width of the modular assembly and a maximum depth of 12 ft. Foundations are allowed under screen rooms and decks only when they are located parallel to the modular. Screen rooms are not allowed knee walls and must maintain 100% screen along outside walls with no enclosure. A maximum 4 ft. minimum 3 ft. high guard rail built to NC state building code may be required from the floor of the screen room. Additional outdoor space that is gained by placing a modular on a basement must comply with all regulations for screen rooms and decks.

Entrance porch/access: For safe ingress and egress, a 6 ft. x 6 ft. covered or uncovered porch may be built at the entrance of the modular, screen room or deck. Access steps and ramps must meet all applicable building code regulations and setback requirements.

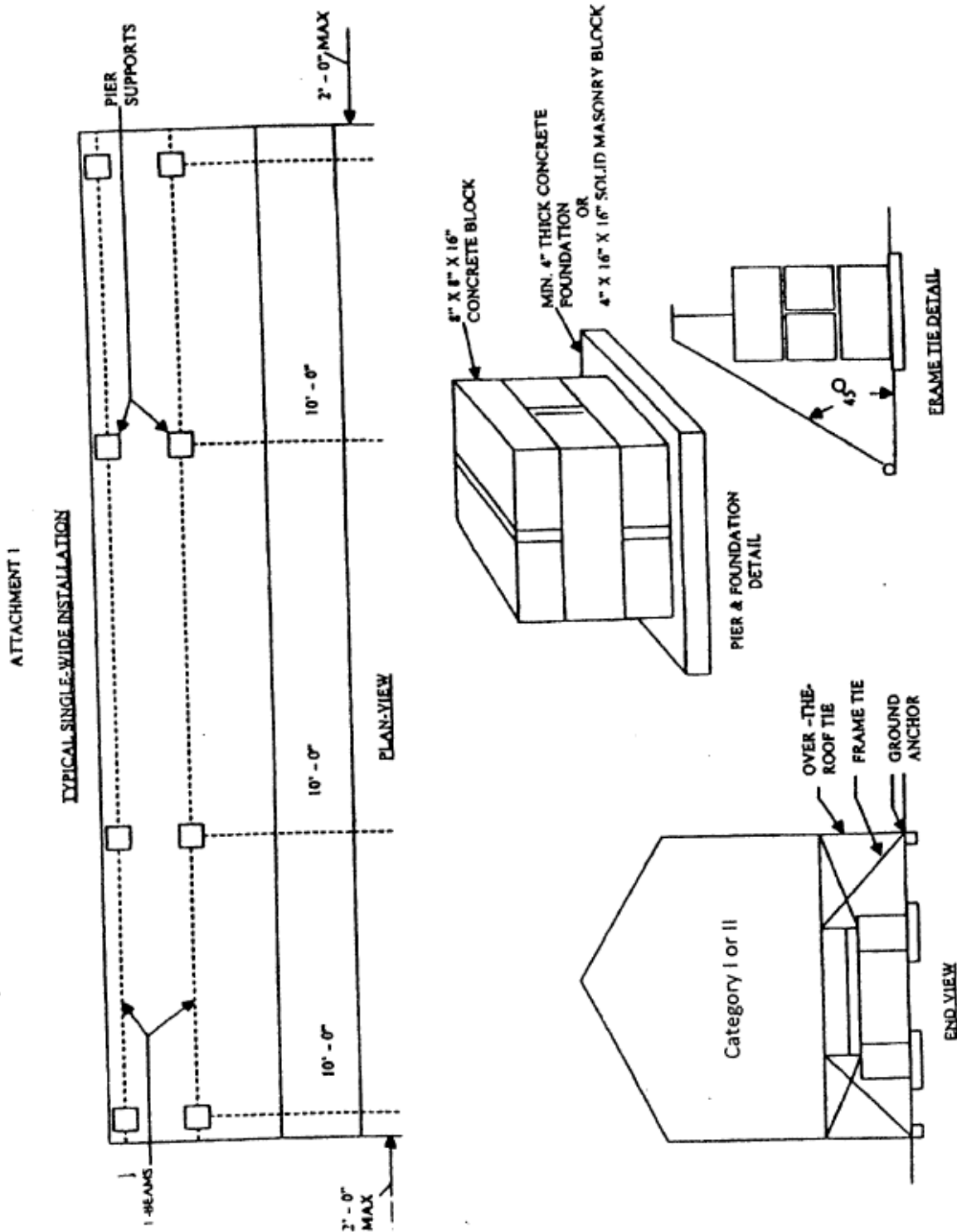
Walkways: A 4 ft. wide walkway is allowed to gain access from the entrance porch to a deck or screen room. Walkways must meet setback requirements. There are no enclosures allowed under walkways.

Summation: With the exception of the indoor and outdoor space gained if a modular is set on a basement, in no case are you allowed to add more than your original room addition, one screen room, one deck, one entry porch.

Closing Statements:

Grandfathering: Any existing RV or accessory structures in violation of this ordinance prior to August 9, 2003 shall be grandfathered until which time the RV or accessory structure is moved or removed.

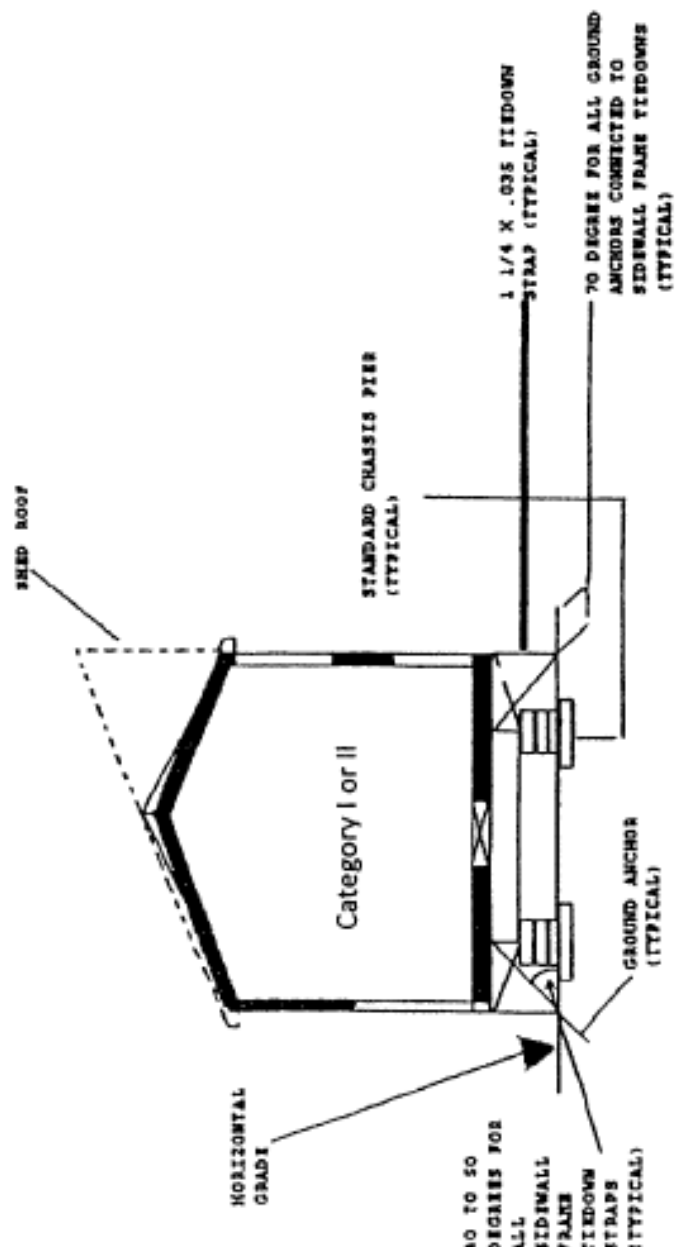
Disclaimer: Anything not contained in these *BSROA Building Guidelines, Rules, Regulations and RV Setup* is considered prohibited.



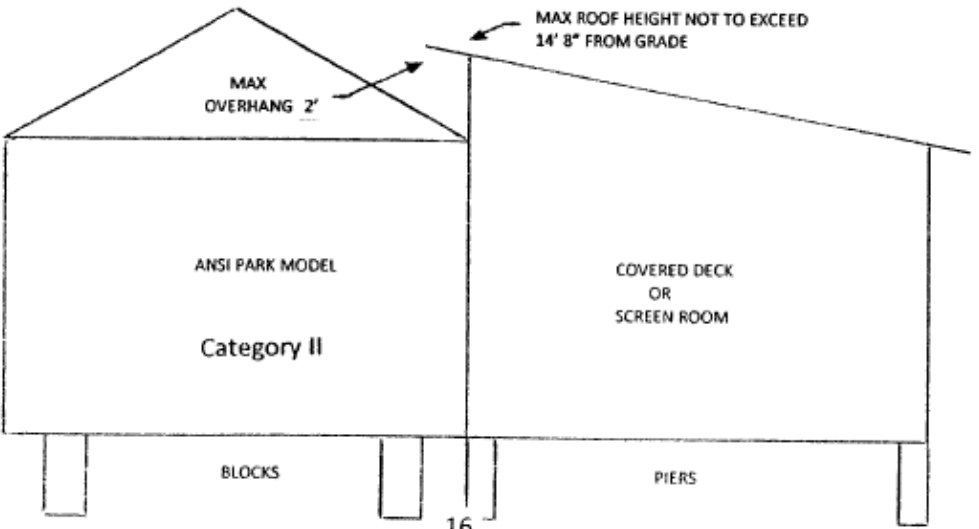
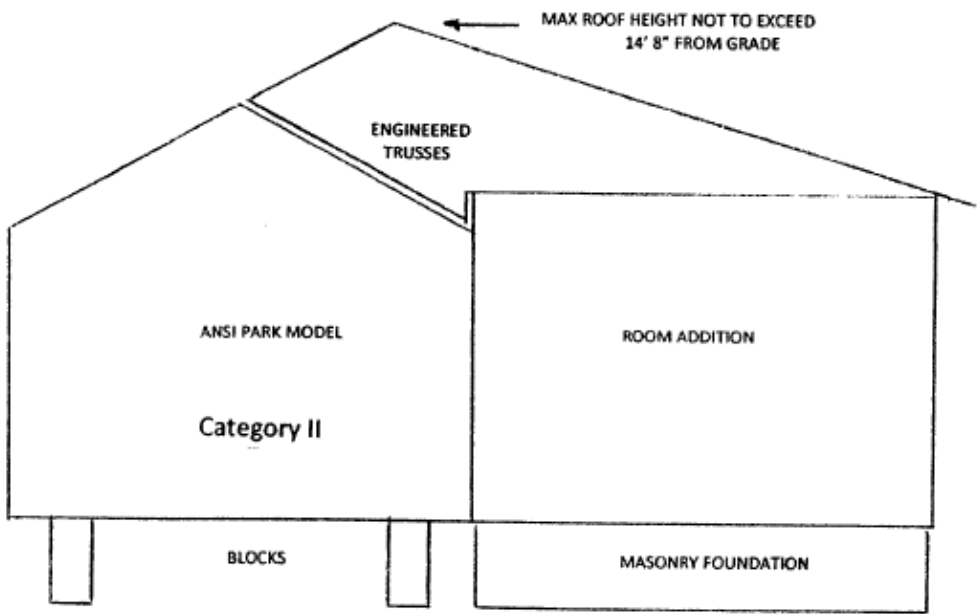
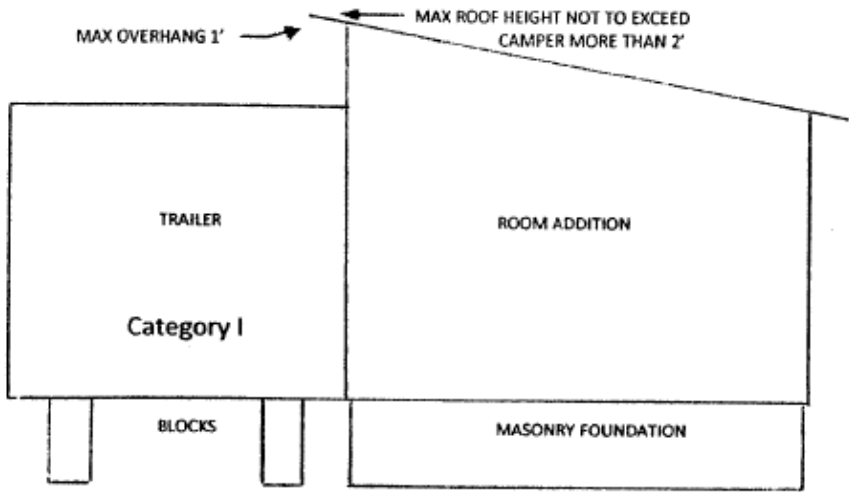
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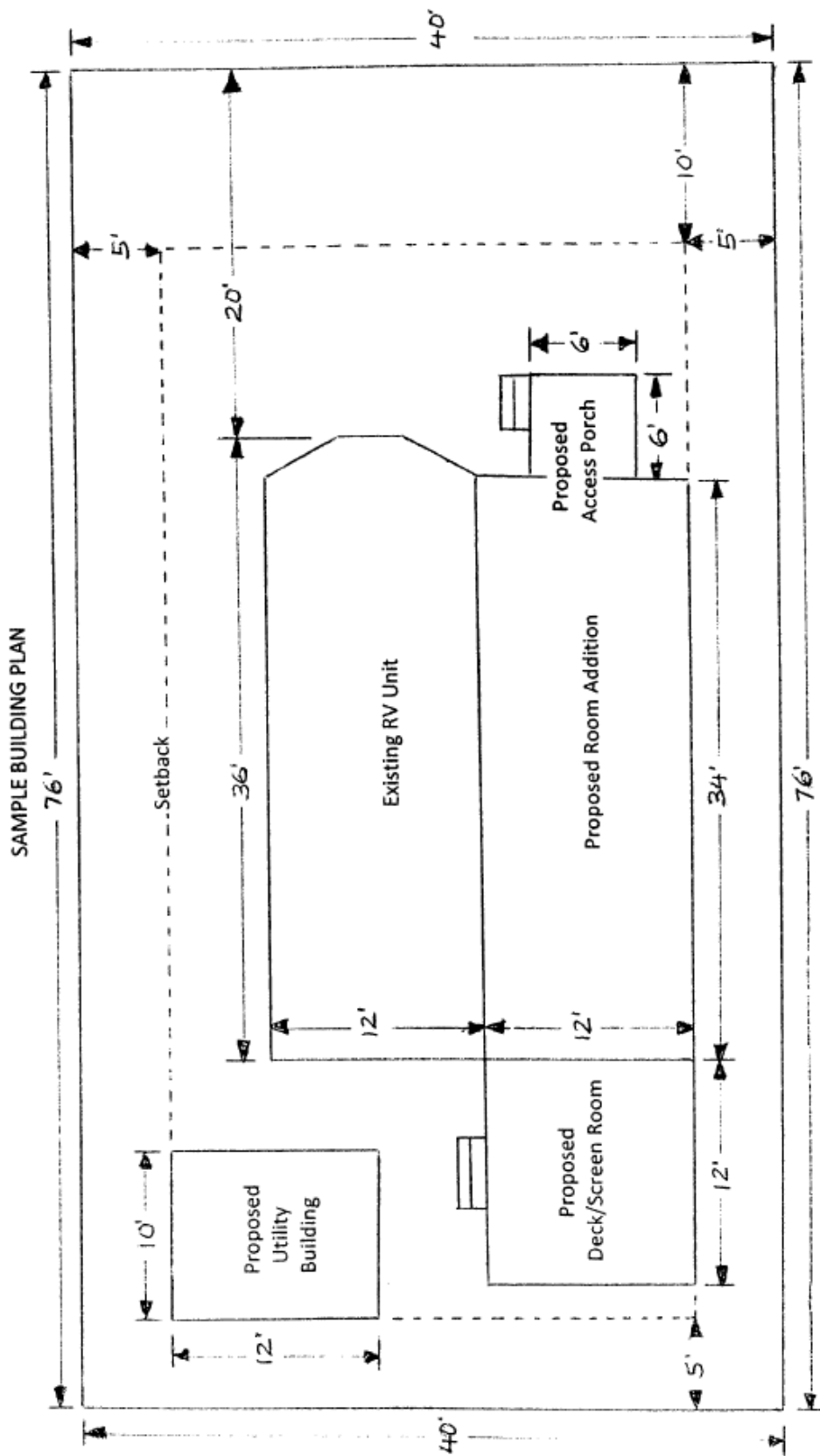
ON SITE -- SINGLE WIDE STANDARD TIE-DOWN INSTALLATION

ALL TIE-DOWN STRAPS, SEALS, TIE-DOWN ANCHORS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150 POUND ALLOWABLE LOAD MIN. (ULTIMATE LOAD 4725 POUND MIN) AND/OR TO COMPLY WITH ASTM D3953-9L. ALL GROUND ANCHORS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 4000 POUND ALLOWABLE LOAD MIN. (ULTIMATE LOAD 6000 POUND MIN.) WHEN LOADED BOTH PARALLEL WITH THE ANCHOR SHAFT AND AT A 45 DEGREE ANGLE FROM THE ANCHOR SHAFT. THE GROUND ANCHORS MUST BE INSTALLED TO THEIR FULL DEPTH IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS (EX. APPROVED FOR INSTALLATION IN SOIL TYPE WHICH EXISTS AT THE SITE ETC.) AND MUST EXTEND BELOW THE FROST LINE AND BE AT LEAST 12 INCHES ABOVE THE WATER TABLE. ALL GROUND ANCHORS CONNECTED TO THE SIDEWALL FRAME TIE-DOWNS MUST BE PROVIDED WITH STABILIZER PLATES TO MINIMIZE HORIZONTAL MOVEMENT.



Attachment 3
Typical Roof Construction for Categories I & II RVs





Lot #: _____
 Name: _____
 Date: _____

- Room Addition – Masonry foundation, siding to match unit, roof height to specific unit regulations
- Utility Building – Set on blocks, roof height not to exceed 11' from floor of building
- Deck/Screen Room – Built on piers, treated lumber
- Access Porch – Built on piers, treated lumber



BSROA
CONSTRUCTION MATERIAL DISPOSAL/
ROAD USE PERMIT

Issue Date: _____ Lot # _____

All persons requesting a building permit are required to also get a disposal/road use permit. All persons disposing of construction material must check with the on-duty gatekeeper before using the dumpster. **This permit is good only for the lot listed above.** This permit is good for 6 months and expires within 5 days of completion of the job. The rates are as follows:

A. _____ Modular Home	\$150.00
_____ Modular Home w/basement	\$200.00
_____ New or Used Park Model	\$100.00
_____ New or Used Camper	\$ 50.00
B. _____ Room Addition	\$75.00
C. _____ Covered Deck	\$35.00
D. _____ Deck Only	\$35.00
E. _____ Roof over existing deck	\$25.00
F. _____ Storage Building (Built on site)	\$25.00
G. _____ Storage Building (Pre-Built)	\$25.00
H. _____ Retaining Wall/Parking Deck (New)	\$50.00
I. _____ Retaining Wall/Parking Deck (Repair/Replace)	\$35.00
J. _____ Pour Concrete*	\$25.00
K. _____ Re-Roof (Includes structural repair)	\$25.00
L. _____ Excavation/Fill Dirt	\$25.00

Permit holder is responsible for removal from site/park all construction debris. Anyone caught improperly disposing of debris on any park property will be subject to a \$100.00 fine for Improper Dumping.

Homeowner understands the Park is not responsible to replace concrete or landscaping poured or placed over water/sewer lines

Owner: _____ Date: _____

BSROA Approval: _____ Date: _____

336-461-3833 Office

336-461-3800 Fax

www.badinshore



**BADIN SHORES
RESORT**

**Badin Shores Resort Owners' Association Inc.
1 Clubhouse Drive
New London, NC 28127
BSROA BUILDING PERMIT**

Plans must be submitted to BSROA Office prior to any construction. Park approval required prior to requesting Montgomery County Building Permit. All plans submitted must be approved or denied within 15 days. BSROA Building Permit is good for 6 months from date of approval.

Requested by: _____ Lot # _____ Phone # _____

Street Address _____

RV Setup _____ Room Addition _____ Covered Deck _____

Deck only _____ Roof over exist. Deck _____

Storage Building _____ Retaining wall/Parking deck _____

Re-Side Bldg. _____ Excavation/Fill/Gravel _____

Concrete _____ Re-Roof _____ Tree Removal _____

Primary Contractor: _____

Project Description: _____

List attachments: Survey _____ Drawings _____

Other: _____

I understand that I must build in compliance with BSROA Building Guidelines, Rules and Regulations, and RV Setup and with building permits issued by BSROA and Montgomery County Inspections Department. I understand that if I do not build according to the permits issued, I am subject to having to remove any and all construction debris.

Signature of Owner Date

=====
_____ Application is approved

_____ Application not approved for the following:

BSROA Approval: _____ Date: _____

336-461-3833 Office

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